

ABERDEEN CITY COUNCIL

COMMITTEE:	Education, Culture and Sport
DATE:	18 November 2010
DIRECTOR:	Annette Bruton
TITLE OF REPORT:	Future use of various operational properties
REPORT NUMBER:	ECS/10/093

1. PURPOSE OF REPORT

The purpose of this report is to seek approval from the Committee to declare various operational properties surplus to the service requirements and to agree their future use.

2. RECOMMENDATIONS

That the committee:

a) Declare the following properties surplus to the requirements of the Education, Culture & Sport service:

- Former Mile End School
- Former Craighill School
- Former Balgownie School
- Former Smithfield School
- Former Hilton Nursery & Community Centre
- Grazing land adjacent to Airyhall House

b) Remit the properties to the Finance & Resources Committee on 2 December 2010 to have them declared surplus to Aberdeen City Council and to authorise the Head of Asset Management & Operations to instruct officers to commence the disposal process of these properties on the open market.

c) Recommend to Finance and Resources Committee that any capital receipts resulting from this report, and the disposal of any other educational establishments, be ring-fenced towards implementing the Learning Estates Strategy.

3. FINANCIAL IMPLICATIONS

The disposal of these properties will generate future capital receipts for the Council. As the proposed sales will be at Market Value, there are no state aid implications.

Councillors have previously discussed the principle that any capital receipts received from the sale of educational establishments, could be ring-fenced towards the implementation of the Learning Estates Strategy, particularly in relation to investing in new or refurbished schools. This funding is a crucial element to ensuring the delivery of the Learning Estates Strategy.

No detailed valuation work has been undertaken on these properties as yet.

There will be future costs associated with marketing and holding these properties until disposal process is complete.

4. SERVICE & COMMUNITY IMPACT

Sales of these properties meet the single outcome agreement in relation to the efficient running of the Council and its property portfolio.

These potential disposals will assist in the redevelopment of vacant buildings/sites and will have wider economic benefits.

The subjects are due to be declared surplus, and, as such, there are no Equalities & Human Rights Impact Assessment factors.

5. OTHER IMPLICATIONS

There are no significant other implications in relation to the proposals, although ongoing property maintenance and legal resources will be required in the future to conclude the proposed sales.

6. REPORT

Education, Culture & Sport service have identified that the following properties are now surplus to their requirements and that their availability be referred to the Finance & Resources Committee to consider their future: (see Appendix 1 for plans of each property).

Former Mile End Primary School

Mid Stocket Road
Aberdeen
AB15 5LT

School now vacated for new 3R's school. The site comprises of a traditional three storey and attic granite building under a pitched slated roof and a former janitors house built 1901, extending in total to 34,000 sq ft, or thereby, and occupying a total site area of 1.28 acres, or thereby. The site has residential conversion potential and is identified as OP110 in the draft Local Development Plan.

Former Craighill School

Hetherwick Road

Kincorth
Aberdeen
AB12 5ST

School now vacated and previously used for decant of Beechwood School. The site comprises of a 1960's single and two storey building under a flat roof, extending in total to 16,800 sq ft, or thereby, and occupying a total site area of 3.8 acres, or thereby. The site has residential potential and is identified as OP73 in the draft Local Development Plan.

Former Balgownie School (Braehead)

Tarbothill Road
Bridge Of Don
Aberdeen
AB22 8RF

School now vacated and previously used for decant of Braehead School. The site comprises of a 1970's single storey building under a flat roof, extending in total to 15,300 sq ft, or thereby, and occupying a total site area of 1.6 acres, or thereby. The site has residential potential and is identified as OP8 in the draft Local Development Plan.

Former Smithfield School

Clarke Street
Northfield
Aberdeen
AB16 7XJ

School due to be vacated by October 2010 as part of 3R's project to the new Manor Park School. The site comprises of a 1950's single storey granite building under a flat roof, extending in total to 49,500 sq ft, or thereby, and occupying a total site area of 5.5 acres, or thereby. The site has residential potential and is identified as OP116 in the draft Local Development Plan.

Former Hilton Nursery & Community Centre

Hilton Avenue
Hilton
Aberdeen
AB26 4RE

Former Head Quarters for Great Northern Partnership and now vacant as part of the Community Centres review. The site comprises of a 1950's single storey granite building under a pitched roof, extending in total to 4,500 sq ft, or thereby, and occupying a total site area of 1.5 acres, or thereby. NHS Grampian have a lease for a small part of this building, which is used as dental clinic, and Asset Management officers are currently seeking a mutually agreeable conclusion to these arrangements. The site has residential potential and is identified as OP106 in the draft Local Development Plan.

Grazing land adjacent to Airyhall House

Northcote Crescent
Aberdeen
AB15 7TJ

Former grazing land once part of Airyhall House which was previously sold to Bancon Homes. The site comprises of grassland and woodland extending in total to 3.5 acres, or thereby. The site has residential potential and is identified as part of OP64 in the draft Local Development Plan.

In anticipation of a Report being submitted to Committee, the availability of each property has been circulated to all Council Services and the North East Property Group. To date there have been no specific expressions of interest in any of the properties.

Accordingly, the Committee is now invited to approve the recommendation to declare these properties surplus, and to remit these properties to the Finance & Resources Committee on 2 December 2010.

7. REPORT AUTHOR DETAILS

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8. BACKGROUND PAPERS

None



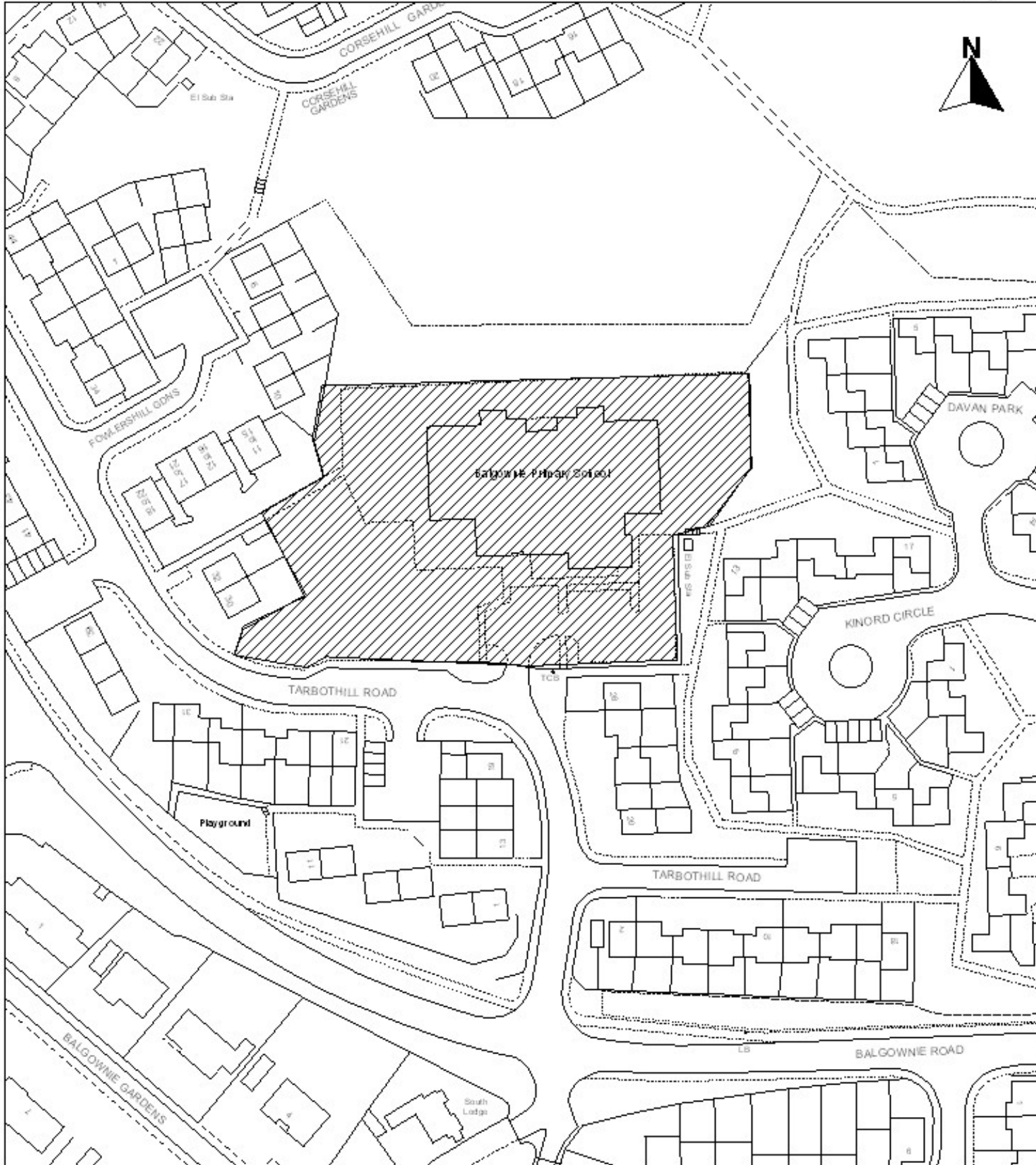
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Date: 13 October 2010

Map Ref: NJ9003NE





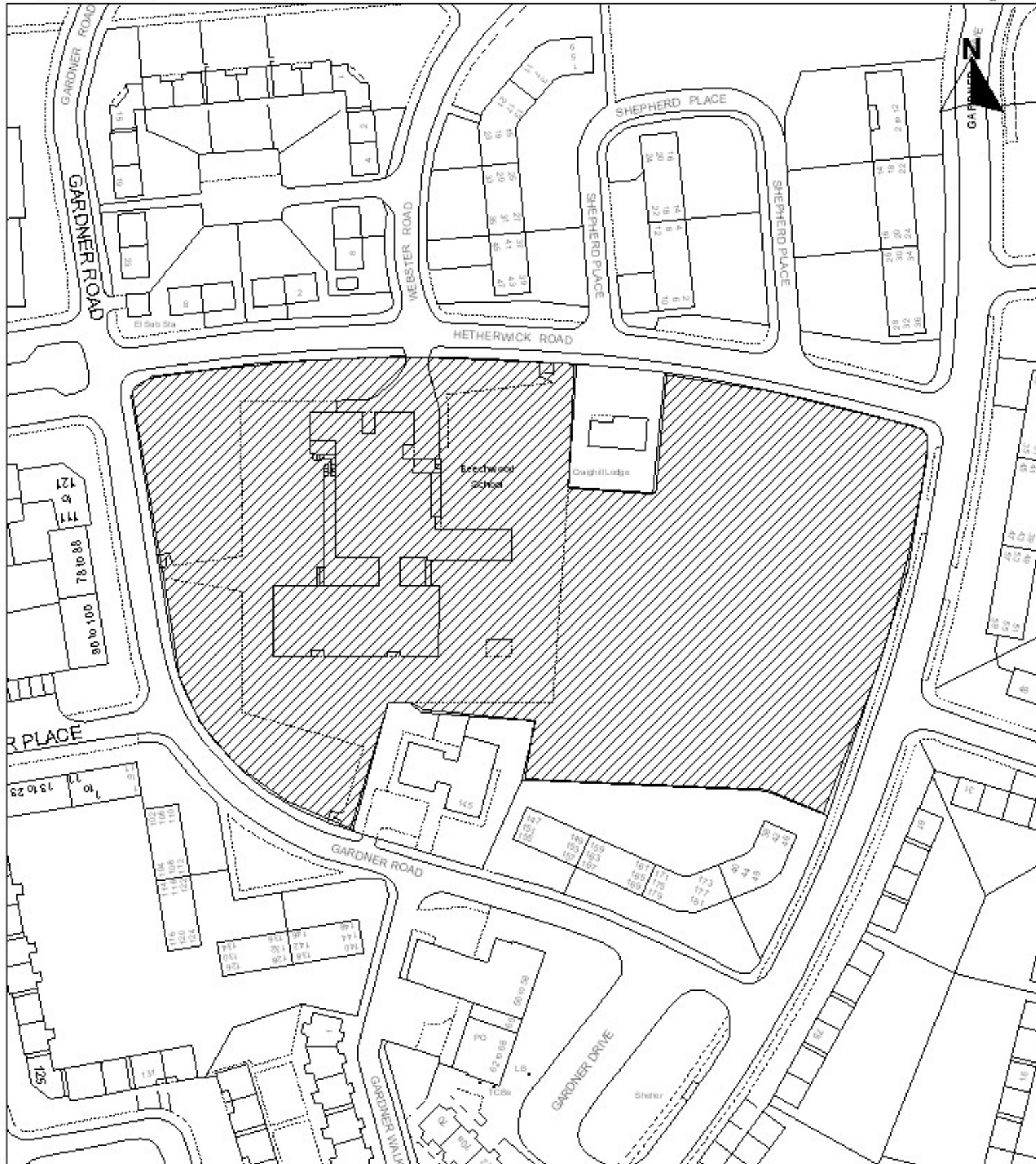
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Date: 13 October 2010

Map Ref: NJ9309NE





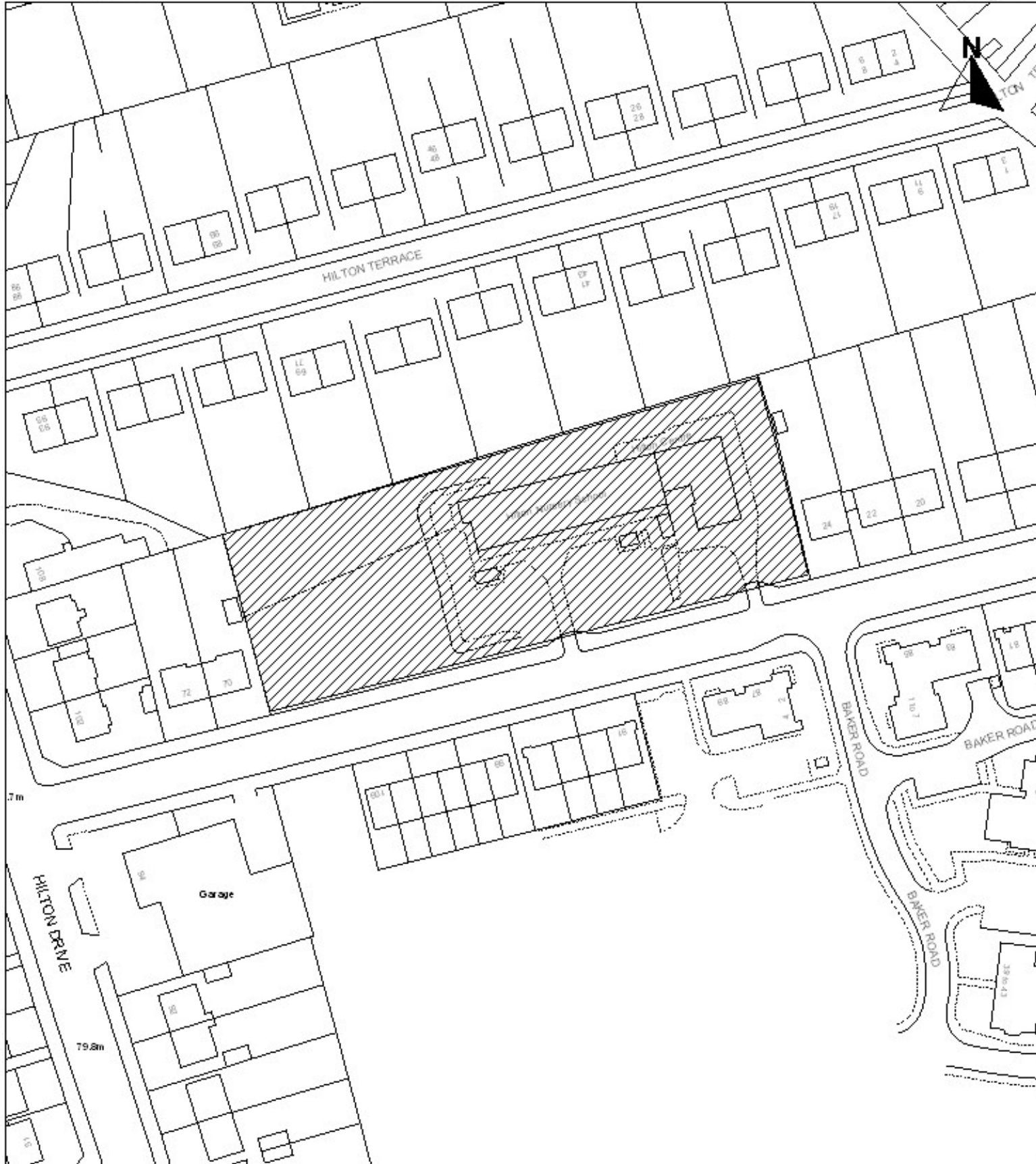
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Date: 13 October 2010

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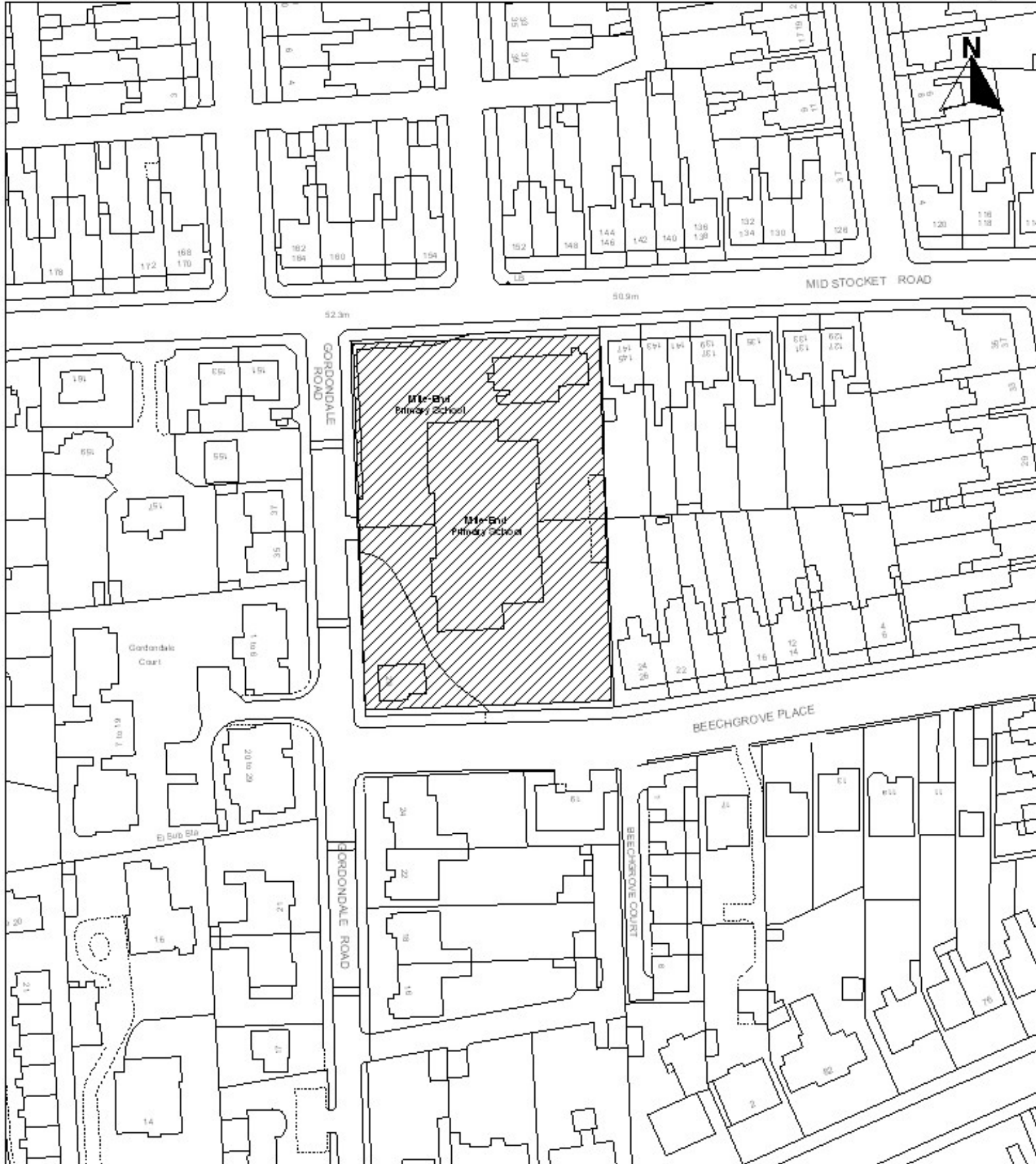
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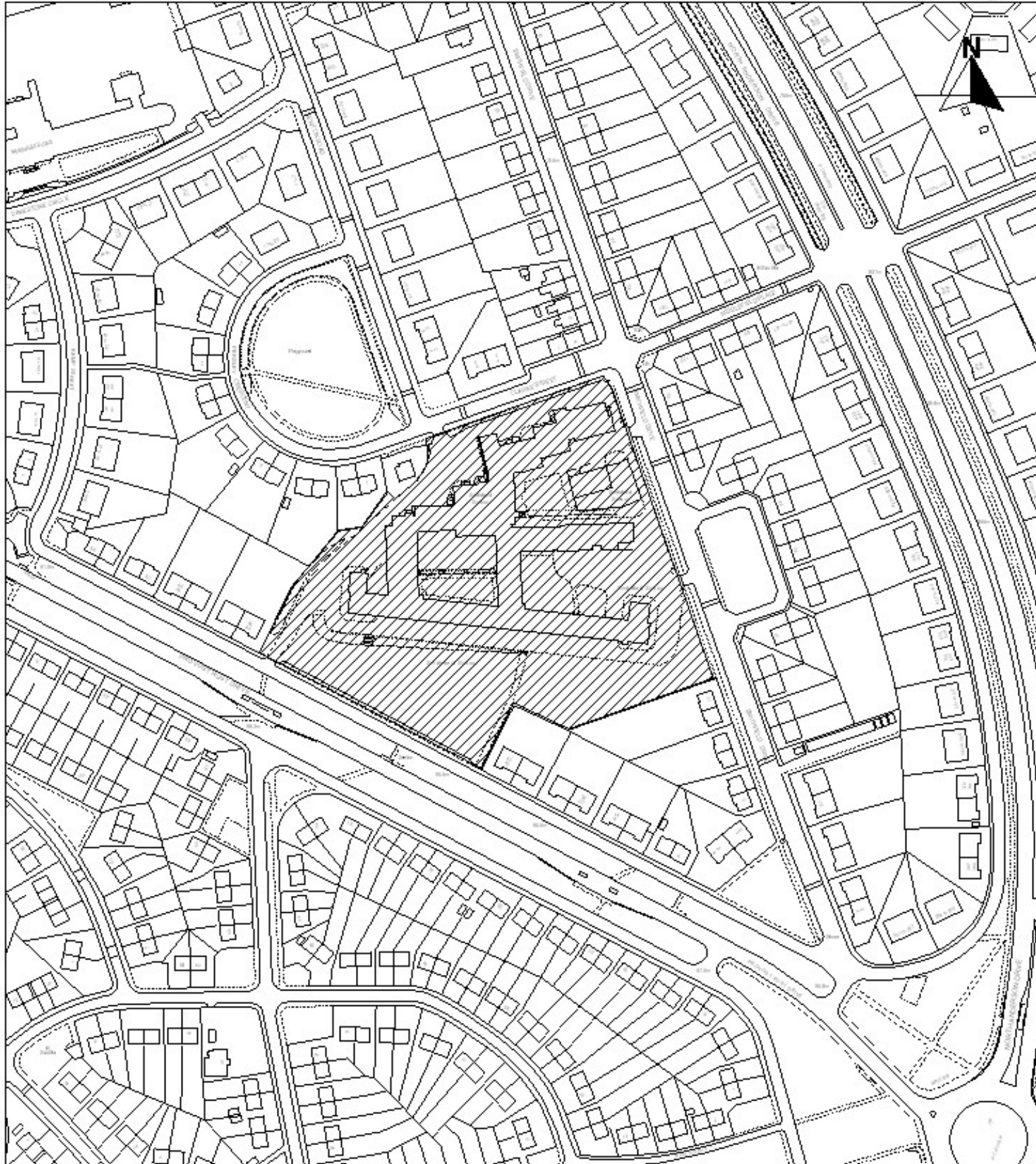
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Title: Smithfield School AB16 7XJ

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Date: 13 October 2010

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